

PALMER CIRCLE TWO SOLAR PROPOSED 998± kW DC SOLAR ARRAY DEVELOPMENT PLAN REVIEW

PROPERTY

41 PALMER CIRCLE
HOPKINTON, RI
AP 11 LOT 47

OWNER

DUBS ENTERPRISES, LLC
10 WISCATA FARM ROAD
HOPE VALLEY, RI 02832

APPLICANT

OAK SQUARE DEVELOPMENT, LLC
119 BRAINTREE STREET
BOSTON, MA 02134

MARCH 19, 2019

PREPARED BY:



environmental consulting
& engineering services

100 Fifth Avenue, 5th Floor
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LOCATION MAP
SCALE: 1"=500'



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GENERAL NOTES:

- SOILS RESOURCES DATA FROM USGS NRCS WEB SOIL SURVEY.
- 2011 LIDAR DATA FROM RHODE ISLAND GEOGRAPHIC INFORMATION SYSTEM (RIGIS).
- BASE PLAN REFERENCES "PROPERTY AND TOPOGRAPHIC SURVEY", DESIGN PROFESSIONALS INC, DATED 1/23/2019, LAST REVISED 3/18/19.
- WETLANDS FLAGGED BY ESS ON JULY 3, 2018 AND NOVEMBER 7, 2018.
- ENGINEER'S ENDORSEMENT IS FOR PERMITTING PURPOSES ONLY. PLANS NOT INTENDED FOR CONSTRUCTION.

CONSTRUCTION NOTES:

- NO CHANGES ARE TO BE MADE UNLESS AUTHORIZED BY THE OWNER.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL SAFETY CODES, REGULATIONS, LEGAL REQUIREMENTS, AND PERMIT CONDITIONS.
- THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS TO PROTECT ALL WALKS, STREETS, PAVEMENTS, HIGHWAY GUARDS, CURBING, EDGING, TREES AND PLANTINGS, ETC. ON OR OFF THE PREMISES, AND SHALL REPAIR AND REPLACE OR OTHERWISE MAKE GOOD AT HIS/HER OWN EXPENSE AS REQUIRED BY THE ENGINEER ANY ITEMS DAMAGED AS A RESULT OF THE CONTRACTOR'S WORK.
- THE CONTRACTOR SHALL DISPOSE OF ALL RUBBISH, AND DEBRIS IN ACCORDANCE WITH THE SPECIFICATIONS AND ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL MAINTAIN THE PROJECT SITE IN SAFE AND CLEAN CONDITION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
- WORK WITHIN LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE'S STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
- UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. CONTRACTOR SHALL NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, OR FIRE HYDRANTS WITHOUT APPROPRIATE PERMITS.
- AREAS OUTSIDE THE LIMITS OF THE PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE AND NO ADDITIONAL COST TO THE OWNER.
- DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE AND NO ADDITIONAL COST TO THE OWNER.
- IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, SEDIMENT, GROUNDWATER, OR OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
- CONSTRUCTION SEQUENCE SHALL BE COORDINATED TO MINIMIZE DISTURBANCE OF EXISTING CONDITIONS AND OPERATIONS AND SHALL BE CONDUCTED AS FOLLOWS:
 - INSTALL SNOW FENCE OR PERIMETER EROSION CONTROLS IDENTIFYING LIMITS OF DISTURBANCE AND AREAS INTERNAL TO THE SITE THAT REQUIRE PROTECTION BEFORE START OF LAND DISTURBANCE.
 - INSTALL ALL EROSION, RUNOFF, AND SEDIMENT CONTROLS AND TEMPORARY POLLUTION PREVENTION MEASURES THAT ARE REQUIRED TO BE IN PLACE AND FUNCTIONAL BEFORE ANY SITE WORK BEGINS. THIS SHALL BE DONE IN ACCORDANCE WITH THE RI SESC HANDBOOK. UPON ACCEPTABLE COMPLETION OF SITE PREPARATION AND INSTALLATION OF EROSION, RUNOFF, AND SEDIMENT CONTROLS AND TEMPORARY POLLUTION PREVENTION MEASURES, SITE CONSTRUCTION ACTIVITIES MAY COMMENCE.
 - UPON COMMENCEMENT OF SITE CONSTRUCTION ACTIVITIES, THE OPERATOR SHALL INITIATE APPROPRIATE STABILIZATION PRACTICES ON ALL DISTURBED AREAS AS SOON AS POSSIBLE, BUT NOT MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED. SUCH TEMPORARY OR PERMANENT SOIL STABILIZATION MEASURES MUST BE INSTALLED PRIOR TO INITIATING LAND DISTURBANCE IN SUBSEQUENT PHASES.
 - CONDUCT ROUTINE INSPECTION AND MAINTENANCE AND/OR MODIFICATION OF EROSION, RUNOFF, AND SEDIMENT CONTROLS AND TEMPORARY POLLUTION PREVENTION MEASURES WHILE SITE WORK IS ONGOING IS REQUIRED.
 - COMPLETE FINAL SITE STABILIZATION OF ANY DISTURBED AREAS AFTER SITE WORK HAS BEEN COMPLETED AND REMOVAL OF TEMPORARY EROSION, RUNOFF, AND SEDIMENT CONTROLS AND TEMPORARY POLLUTION PREVENTION MEASURES.
- ALL NECESSARY FEES AND CONSTRUCTION PERMITS SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR.
- WORK WITHIN PUBLIC WAYS SHALL COMPLY WITH APPLICABLE MUNICIPAL AND STATE REQUIREMENTS.
- THE CONTRACTOR SHALL USE DESIGNATED LOCATIONS WITHIN THE ESTABLISHED LIMITS OF DISTURBANCE TO ACCESS THE SITE.
- DUST CONTROL PROCEDURES AND PRACTICES SHALL BE USED TO SUPPRESS DUST DURING THE CONSTRUCTION PROCESS. EXAMPLES OF DUST CONTROL MEASURES INCLUDE WATER TREATMENT, MULCH, AND TEMPORARY VEGETATION.
- CARE SHOULD BE TAKEN TO THE BEST OF THE OPERATOR'S ABILITY TO AVOID DISTURBING LARGE AREAS PRIOR TO ANTICIPATED PRECIPITATION EVENTS. AT A MINIMUM, STORM EVENTS MUST BE MONITORED AND TRACKED IN ORDER TO DETERMINE WHEN POST-STORM EVENT INSPECTIONS MUST BE CONDUCTED. INSPECTIONS MUST BE CONDUCTED AND DOCUMENTED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN TWENTY-FOUR (24) HOURS AFTER ANY STORM EVENT, WHICH GENERATES AT LEAST 0.25 INCHES OF RAINFALL PER TWENTY-FOUR (24) HOUR PERIOD AND/OR AFTER A SIGNIFICANT AMOUNT OF RUNOFF OR SNOWMELT.
- NO TOPSOIL OR PRIME AGRICULTURAL SOIL SHALL BE REMOVED FROM THE SITE FOR INSTALLATION OF THE FACILITY.
- ONCE GRADED, THE QUALIFIED PERVIOUS AREAS (OPA) SHOWN ON DRAWING SHALL BE SURROUNDED WITH A SNOW FENCE. CONSTRUCTION VEHICLES MUST NOT DRIVE OVER THE AREA. IF THE SOIL WITHIN THE OPA BECOMES COMPACTED, IT MUST BE SUITABLY AMENDED, TILLED, AND RE-VEGETATED ONCE CONSTRUCTION IS COMPLETE TO RESTORE INFILTRATION CAPACITY.

GENERAL PHOTOVOLTAIC SOLAR ENERGY SYSTEM (PSES) NOTES:

- ALL PSES EQUIPMENT SHALL USE MATERIALS, COLORS, AND TEXTURES THAT WILL BLEND INTO THE NATURAL SETTING AND EXISTING ENVIRONMENT.
- ALL PSES EQUIPMENT SHALL BE DESIGNED TO AVOID OR MITIGATE ANY DISRUPTION, INTERFERENCES WITH, OR LOSS OF RADIO, TELEPHONE, TELEVISION OR SIMILAR SIGNALS.
- THE CONSTRUCTION OF ALL PROPOSED PSES EQUIPMENT SHALL BE CONSISTENT WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- ALL PRECAUTIONS SHALL BE TAKEN TO PROTECT NEIGHBORING PROPERTIES FROM EXPOSURE TO ANY RADIATION PRODUCED AS A RESULT OF THE PSES.

SEDIMENTATION & EROSION CONTROL NOTES:

- THE CONTRACTOR IS REQUIRED TO REVIEW AND IMPLEMENT THE SOIL EROSION AND SEDIMENT CONTROL PLAN THROUGHOUT CONSTRUCTION. THE PLAN MUST BE MAINTAINED AT THE SITE. IT IS THE OPERATOR'S RESPONSIBILITY TO MANAGE THE SITE DURING EACH CONSTRUCTION PHASE SO AS TO PREVENT POLLUTANTS FROM LEAVING THE SITE. THIS MAY REQUIRE THE CONTRACTOR TO REVISE AND AMEND THE SESC PLAN DURING CONSTRUCTION TO ADDRESS VARYING SITE AND/OR WEATHER CONDITIONS, SUCH AS BY ADDING OR REALIGNING EROSION OR SEDIMENT CONTROLS TO ENSURE THE SESC PLAN REMAINS COMPLIANT WITH THE RIPDES CONSTRUCTION GENERAL PERMIT.
- EROSION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN HEREIN OR AS DIRECTED BY THE ENGINEER.
- PERIMETER SOIL AND EROSION CONTROLS SHALL BE PLACED PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN THE TRIBUTARY WATERSHED. CONTRACTOR TO NOTIFY THE ENGINEER AT LEAST 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES. ALL SOIL AND EROSION CONTROLS SHALL BE CHECKED AND REPAIRED AS NECESSARY.
- ALL TEMPORARY EROSION, RUNOFF, SEDIMENT, AND POLLUTION PREVENTION CONTROL MEASURED SHALL BE INSTALLED BY THE TIME EACH PHASE OF EARTH DISTURBANCE HAS BEGUN.
- EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF EACH STORM EVENT GREATER THAN 0.25 INCHES OF RAINFALL. ALL DAMAGED FILTER SOCKS SHALL BE REPLACED. ACCUMULATED SEDIMENT SHALL BE STOCKPILED FOR LATER REUSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING EROSION CONTROL MEASURES TO PREVENT OFF-SITE TRACKING OF EARTH, SEDIMENT AND DEBRIS.
- INITIATE APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION PRACTICES ON ALL DISTURBED AREAS AS SOON AS POSSIBLE, BUT NOT MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THE AREA HAS TEMPORARILY OR PERMANENTLY CEASED. ANY DISTURBED AREA THAT WILL NOT HAVE ACTIVE CONSTRUCTION ACTIVITY OCCURRING WITHIN 14 DAYS MUST BE STABILIZED IN ACCORDANCE WITH THE RI SESC HANDBOOK USING STRAW MULCH, TEMPORARY SEEDING, OR PERMANENT SEEDING.
- ALL DISTURBED AREAS SHALL HAVE A MINIMUM OF FOUR INCHES OF LOAM PLACED BEFORE BEING PERMANENTLY SEEDED AND MULCHED. EXISTING LOAM TO BE REUSED SHALL BE FREE OF DEBRIS. LOAM FROM AN OFF SITE BORROW SOURCE SHALL BE SAMPLED AND APPROVED FOR USE BY THE ENGINEER PRIOR TO ITS DELIVERY TO THE SITE.
- EROSION CONTROL MEASURES SHALL BE REMOVED WHEN THE DISTURBED AREA IS STABILIZED OR AS SPECIFIED BY THE ENGINEER. DISTURBED AREA RESULTING FROM THE FILTER SOCK REMOVAL OPERATION SHALL BE PERMANENTLY SEEDED. ALL ACCUMULATED SEDIMENT SHALL BE STOCKPILED FOR LATER REUSE.
- TEMPORARY STRAW MULCH OR TEMPORARY EROSION CONTROL BLANKETS SHALL BE USED WHERE NON-VEGETATIVE COVER IS REQUIRED FOR A PERIOD GREATER THAN 14 DAYS BUT LESS THAN SIX MONTHS. MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MACHINE RESULTING IN 100% COVERAGE OF THE DISTURBED SOIL. IF ANCHORING IS NECESSARY, TACKIFIERS AND/OR NETTING EITHER WITH THE MULCH OR IMMEDIATELY FOLLOWING MULCH APPLICATION SHALL BE USED.
- TEMPORARY SEEDING SHALL BE USED WHERE VEGETATIVE COVER IS REQUIRED FOR A PERIOD GREATER THAN ONE MONTH BUT LESS THAN TWELVE MONTHS ON DISTURBED SOIL AREAS. RAPIDLY GROWING ANNUAL GRASSES WILL BE UNIFORMLY APPLIED AT THE RATE ASSOCIATED WITH HYDRAULIC APPLICATION (HYDROSEEDING). THE SITE SHALL BE CHECKED PERIODICALLY TO ASSESS THE GROWTH OF THE PLANTS. IF SEEDING FAILS TO GROW, THE AREA SHALL BE RE-ESTABLISHED TO PROVIDE ADEQUATE EROSION CONTROL. THE SEED MIXTURE SHALL BE RIDOT TEMPORARY SEED MIX (M18.10.5), OR APPROVED EQUIVALENT.
- PERMANENT SEEDING SHALL BE USED ON AREAS WHERE PERMANENT VEGETATIVE COVER IS NEEDED TO STABILIZE THE SOIL AND REDUCE EROSION AND SEDIMENTATION. RAPIDLY GROWING ANNUAL GRASSES SHALL BE UNIFORMLY APPLIED AT THE RATE ASSOCIATED WITH HYDRAULIC APPLICATION (HYDROSEEDING). THE SEED MIXTURE TO BE USED FOR PERMANENT STABILIZATION ARE SHOWN HEREIN.
- SEEDING SHALL OCCUR PRIOR TO OCTOBER 15TH. AREAS THAT DO NOT HAVE ADEQUATE VEGETATIVE STABILIZATION BY NOVEMBER 15TH, MUST BE STABILIZED THROUGH THE USE OF NON-VEGETATIVE EROSION CONTROL MEASURES. AREAS SEEDED BETWEEN MAY 15TH AND AUGUST 15TH SHALL BE COVERED WITH STRAW MULCH. DURING THESE MONTHS, TEMPORARY AND PERMANENT SEEDED AREAS SHALL BE MULCHED IMMEDIATELY FOLLOWING SEEDING.
- TREATMENT CHEMICALS SHALL NOT BE APPLIED.

UTILITIES NOTES:

- THE CONTRACTOR SHALL CALL "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO EXCAVATION.
- THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES AND UTILITY COMPANIES, IN WRITING, A MINIMUM OF 72 HOURS PRIOR TO ANY CONSTRUCTION WITHIN 15 FEET OF A UTILITY LINE.
- EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. ADDITIONAL UTILITIES MAY EXIST THAT ARE NOT SHOWN. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING DRAINAGE AND UTILITIES BOTH UNDERGROUND AND OVERHEAD BEFORE EXCAVATION BEGINS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT DIGSAFE, NOTIFY ALL NON-MEMBER UTILITY COMPANIES AND ENSURE THAT ALL UTILITIES HAVE BEEN MARKED PRIOR TO COMMENCING WORK. ANY DAMAGE TO EXISTING UTILITIES MARKED IN THE FIELD, OR AS A RESULT OF FAILING TO CONTACT THE APPROPRIATE UTILITY COMPANY, SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- BEFORE STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MAKING ALL NECESSARY ARRANGEMENTS AND FOR PERFORMING ANY NECESSARY WORK INVOLVED IN CONNECTION WITH THE DISCONTINUANCE OR JURISDICTION OF THE UTILITY COMPANIES, SUCH AS ELECTRICITY, TELEPHONE, WATER, GAS AND ANY SYSTEM OR SYSTEMS WHICH WILL BE AFFECTED BY THE WORK TO BE PERFORMED UNDER THIS CONTRACT.
- UNLESS OTHERWISE NOTED OR APPROVED BY THE ENGINEER, THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES.
- IF REQUIRED, OVERHEAD LINES SHALL BE RELOCATED BY THE UTILITY COMPANY AT THE CONTRACTOR'S EXPENSE.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.

DOCUMENT USE:

- THESE PLANS AND THE CORRESPONDING CAD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE PREPARED BY ESS GROUP, INC. AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED WRITTEN CONSENT OF ESS GROUP, INC. ANY UNAUTHORIZED USE, REUSE, MODIFICATION, OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT, SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO ESS GROUP, INC.
- CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, OR DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS OR OWNER, BUT SHALL VERIFY LOCATIONS OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
- SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS, AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURER'S LITERATURE, SHOP DRAWINGS, AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.



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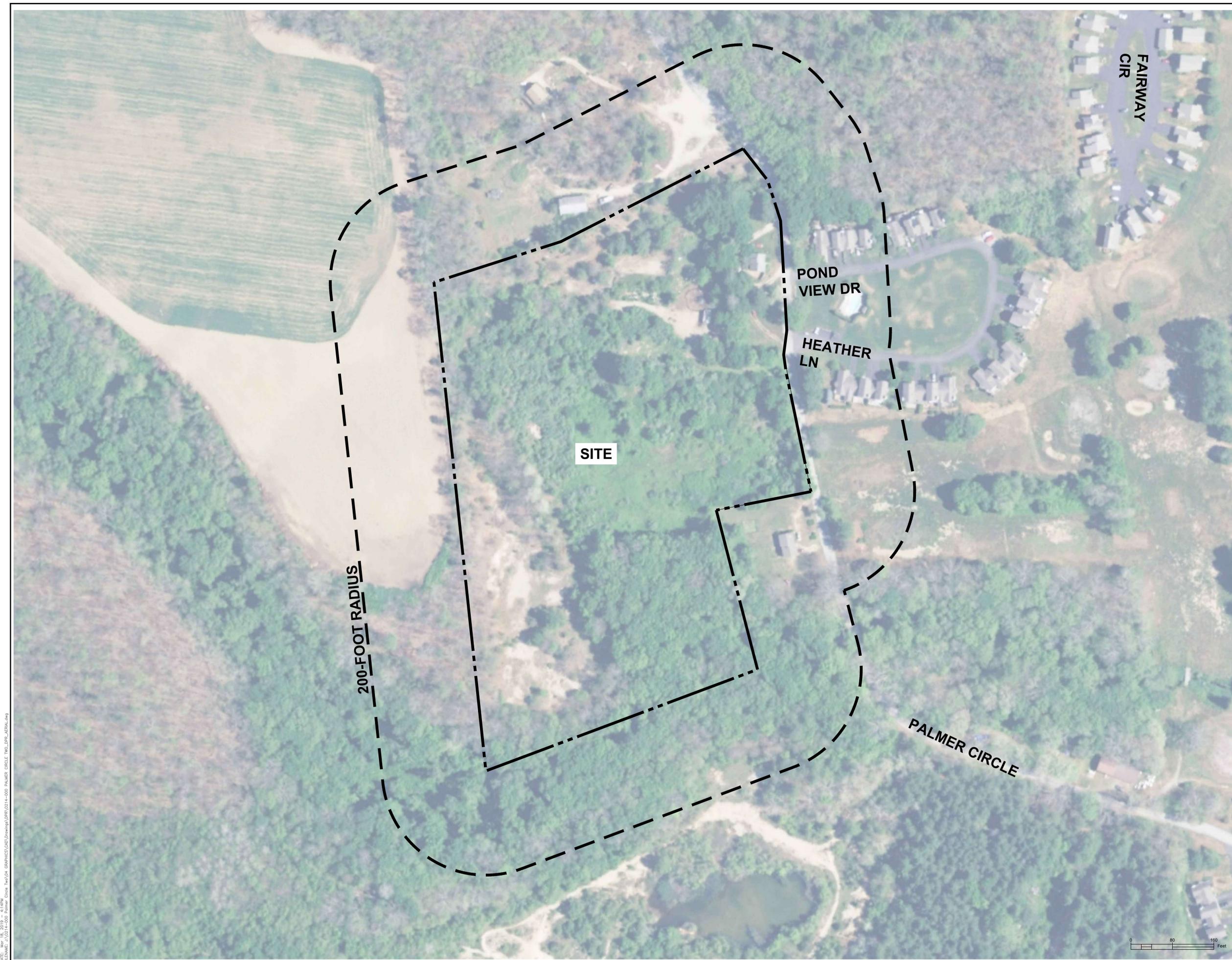


No.	REVISION	DATE	APP BY

**PALMER CIRCLE SOLAR TWO
AP 11 LOT 47
41 PALMER CIRCLE
HOPKINTON, RI**

**DEVELOPMENT PLAN REVIEW
NOTES**

PROJECT No.: 0214-000	DRAWING No.
DATE OF ISSUE: 3/19/19	N-1
SHEET No.: 2 OF 7	
SCALE:	



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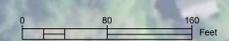
No.	REVISION	DATE	APP BY

DRAWN BY: PKN CHECKED BY: _____
 DESIGNED BY: JMG APPROVED BY: _____

PALMER CIRCLE SOLAR TWO
AP 11 LOT 47
41 PALMER CIRCLE
HOPKINTON, RI

DEVELOPMENT PLAN REVIEW
AERIAL PHOTOGRAPH

PROJECT No.: 0214-000	DRAWING No.
DATE OF ISSUE: 3/19/19	AE-1
SHEET No.: 3 OF 7	
SCALE: 1"=80'	



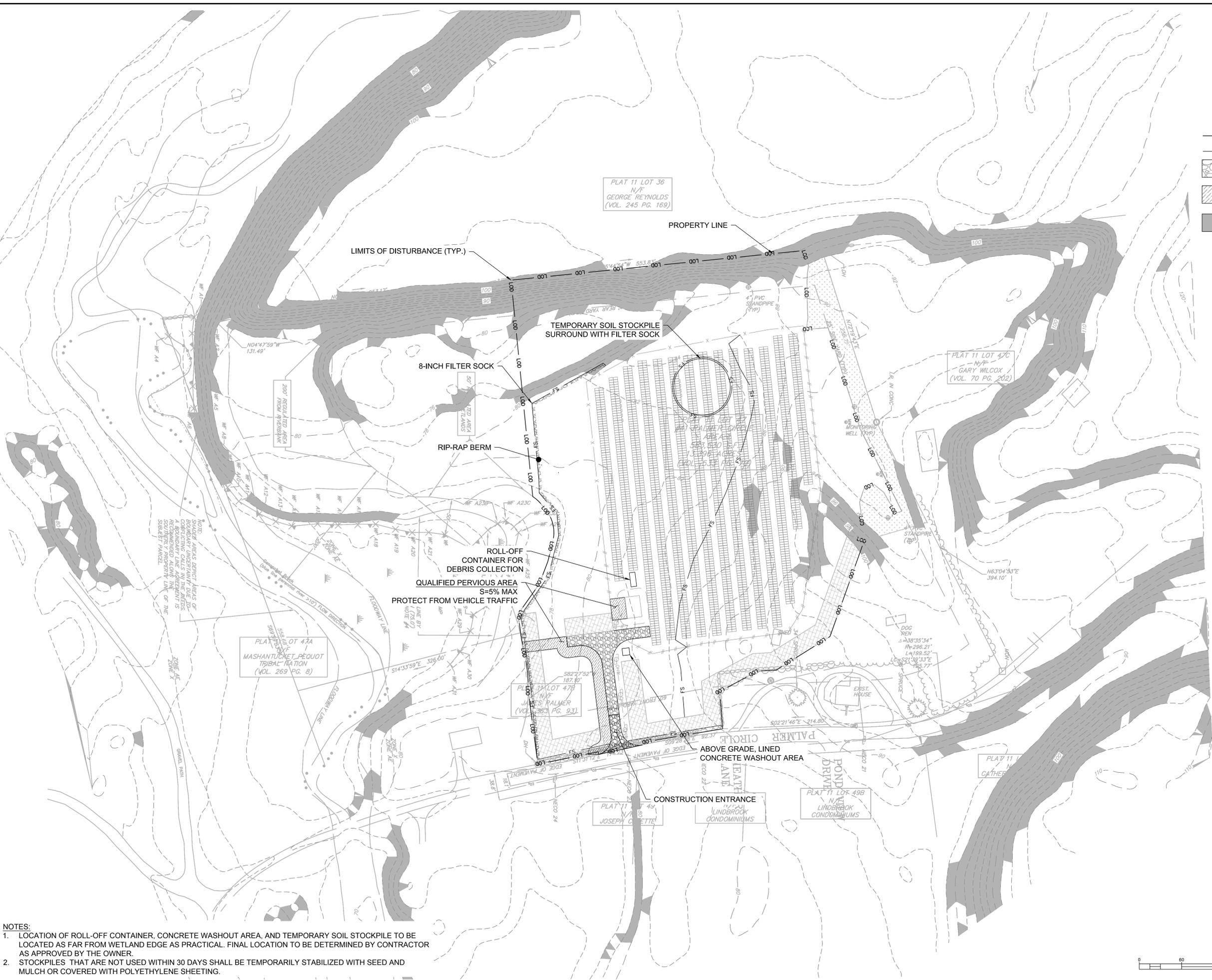
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PROJECT: 0214-000 Palmer Circle Solar Two (4) 4/19/19
 DRAWING: AP 11 LOT 47 41 PALMER CIRCLE HOPEWELL COMMONS HOPEWELL MA 01854
 DATE: 3/19/19
 SCALE: 1" = 60'
 SHEET: 5 OF 7
 PROJECT: 0214-000 Palmer Circle Solar Two (4) 4/19/19
 DRAWING: AP 11 LOT 47 41 PALMER CIRCLE HOPEWELL COMMONS HOPEWELL MA 01854
 DATE: 3/19/19
 SCALE: 1" = 60'
 SHEET: 5 OF 7



LEGEND

- LOD LIMITS OF DISTURBANCE
- FS 8-INCH FILTER SOCK
- CONSTRUCTION ENTRANCE
- QUALIFIED PERVIOUS AREA
- SLOPE GREATER THAN 15%



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**PALMER CIRCLE SOLAR TWO
 AP 11 LOT 47
 41 PALMER CIRCLE
 HOPKINTON, RI**

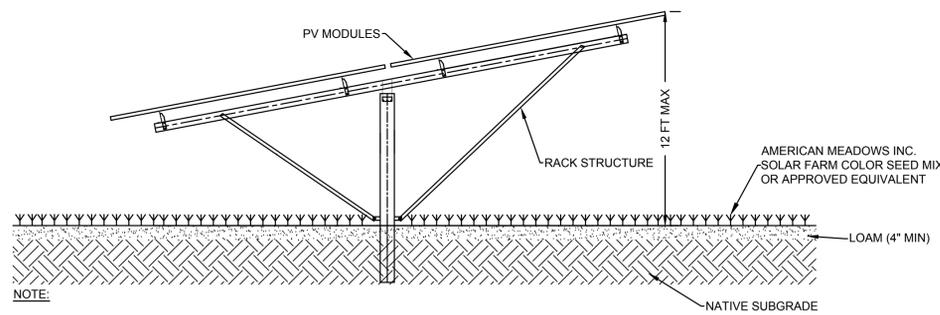
**DEVELOPMENT PLAN REVIEW
 DRAINAGE AND SESC**

PROJECT No.: 0214-000	DRAWING No.
DATE OF ISSUE: 3/19/19	C-2
SHEET No.: 5 OF 7	
SCALE: 1" = 60'	

- NOTES:**
- LOCATION OF ROLL-OFF CONTAINER, CONCRETE WASHOUT AREA, AND TEMPORARY SOIL STOCKPILE TO BE LOCATED AS FAR FROM WETLAND EDGE AS PRACTICAL. FINAL LOCATION TO BE DETERMINED BY CONTRACTOR AS APPROVED BY THE OWNER.
 - STOCKPILES THAT ARE NOT USED WITHIN 30 DAYS SHALL BE TEMPORARILY STABILIZED WITH SEED AND MULCH OR COVERED WITH POLYETHYLENE SHEETING.

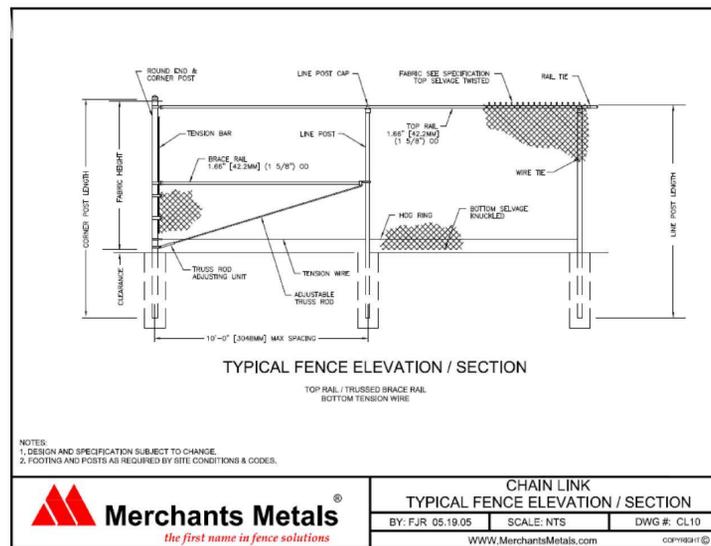


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NOTE:
 1. RACK STRUCTURE AND PV MODULES SHOWN FOR ILLUSTRATIVE PURPOSES. ACTUAL COMPONENTS AND DIMENSIONS AS APPROVED BY OWNER. FOUNDATION TYPE TO BE DETERMINED BY OTHERS.

1
SOLAR PANEL AND RACK DETAIL
 SCALE: NTS

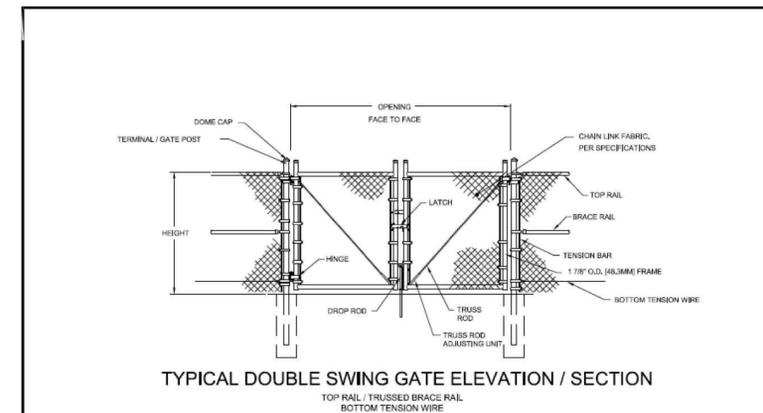


NOTES:
 1. DESIGN AND SPECIFICATION SUBJECT TO CHANGE.
 2. FOOTING AND POSTS AS REQUIRED BY SITE CONDITIONS & CODES.

	CHAIN LINK		
	TYPICAL FENCE ELEVATION / SECTION		
	BY: FJR 05.19.05	SCALE: NTS	DWG #: CL10
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- NOTES:**
- FINAL FENCE DETAIL TO BE SELECTED BY OWNER.
 - INSTALL FENCE PER MANUFACTURER INSTRUCTIONS.
 - FENCE TO BE BLACK OR GREEN MERCHANT METALS COLORBOND COLOR COATED CHAIN LINK FENCE, OR APPROVED EQUIVALENT.
 - FENCE POSTS TO BE PILE DRIVEN EXCEPT AT CORNERS AND GATES WHICH SHALL BE SET IN CONCRETE.
 - FENCE HEIGHT SHALL BE 7 FEET.
 - PROVIDE 6-INCH CLEARANCE BENEATH THE FENCE TO PERMIT WILDLIFE PASSAGE.

2
TYPICAL 7-FT CHAIN LINK FENCE DETAIL
 SCALE: NTS

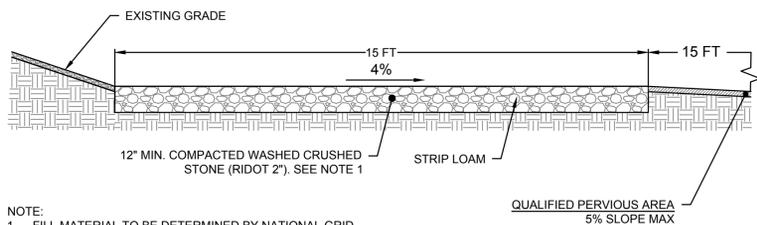


NOTES:
 DESIGN AND SPECIFICATION SUBJECT TO CHANGE.
 VERTICAL & HORIZONTAL MEMBERS MAXIMUM # O.C.
 FOOTING AND POSTS AS REQUIRED BY SITE CONDITIONS & CODES.

	CHAIN LINK		
	DOUBLE SWING GATE ELEVATION / SECTION		
	BY: ART 2.11.10	SCALE: NTS	DWG #: CL12
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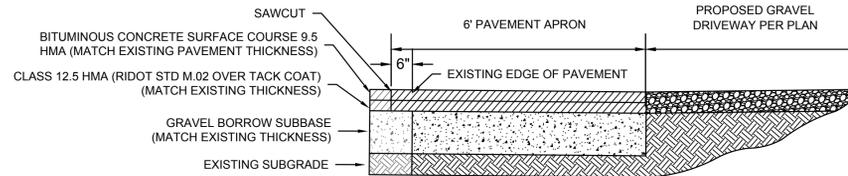
- NOTES:**
- FINAL GATE DETAIL TO BE SELECTED BY OWNER.
 - INSTALL GATE PER MANUFACTURER INSTRUCTIONS.
 - FENCE TO BE BLACK OR GREEN MERCHANT METALS COLORBOND COLOR COATED CHAIN LINK FENCE, OR APPROVED EQUIVALENT.
 - GATE POSTS SHALL BE SET IN CONCRETE.
 - FENCE HEIGHT SHALL BE 7 FEET, OPENING WIDTH SHALL BE 24 FEET.
 - PROVIDE 6-INCH CLEARANCE BENEATH THE FENCE TO PERMIT WILDLIFE PASSAGE.

3
TYPICAL VEHICLE GATE DETAIL
 SCALE: NTS



NOTE:
 1. FILL MATERIAL TO BE DETERMINED BY NATIONAL GRID

4
TYPICAL CRUSHED STONE DRIVEWAY SECTION
 SCALE: NTS



NOTES:

- SAW CUT EXISTING PAVEMENT 6" FROM EDGE OF PAVEMENT TACK COAT FACE BEFORE PAVING.
- PAVEMENT MATCH DESIGN SHALL MATCH EXISTING SHEET FLOW PATTERNS.

5
TYPICAL PAVEMENT APRON DETAIL
 SCALE: NTS

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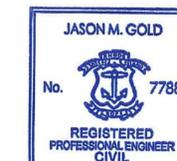


No.	REVISION	DATE	APP BY

PALMER CIRCLE SOLAR TWO
AP 11 LOT 47
41 PALMER CIRCLE
HOPKINTON, RI

DEVELOPMENT PLAN REVIEW
DETAILS

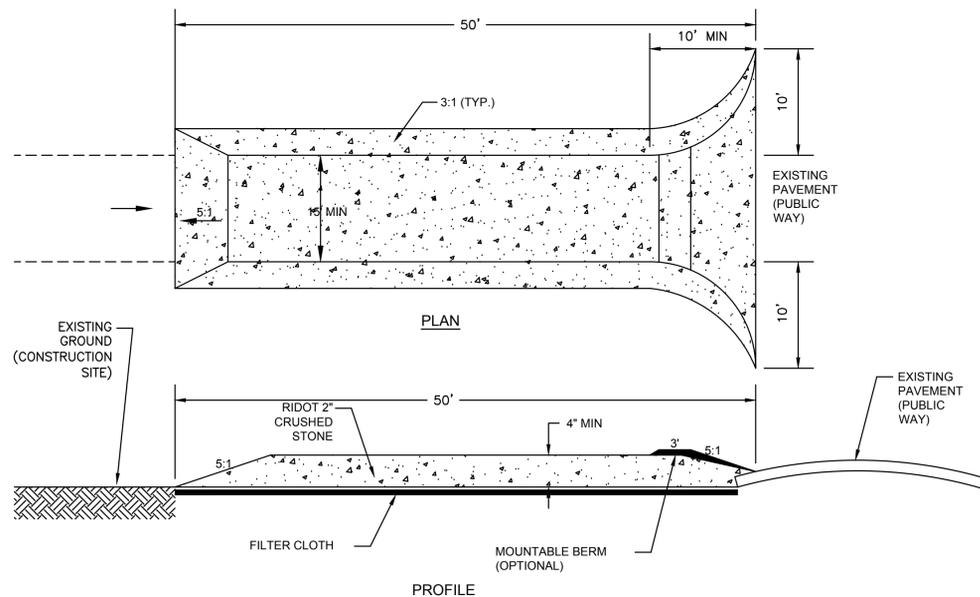
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DATE OF ISSUE: 3/19/19	D-1
SHEET No.: 6 OF 7	
SCALE: NTS	



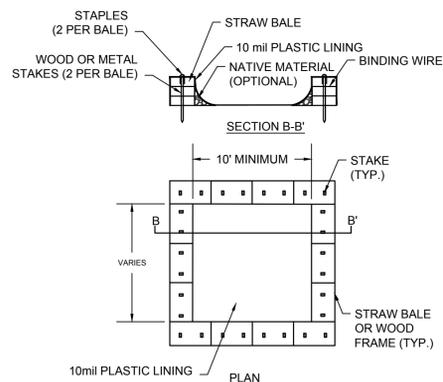
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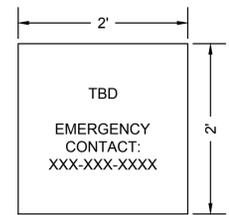


1
7
TYPICAL CONSTRUCTION ENTRANCE
SCALE: NTS



- NOTES:**
- ACTUAL LAYOUT AND LOCATION TO BE DETERMINED BY THE CONTRACTOR. LOCATE WASHOUT AREA AT LEAST 50 FEET FROM SENSITIVE AREAS SUCH AS STORM DRAINS, OPEN DITCHES, OR WATER BODIES, INCLUDING WETLANDS.
 - CONCRETE WASHOUT SHALL BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS. PROVIDE 12 INCHES OF FREEBOARD.
 - PLASTIC LINING SHALL BE FREE OF HOLES, TEARS, OR OTHER DEFECTS.
 - WASHOUT SHALL BE CLEANED OR REPLACED ONCE 75% FULL.

2
7
TYPICAL CONCRETE WASHOUT
SCALE: NTS



- NOTES:**
- SIGN SHALL BE REFLECTIVE RUST FREE ALUMINUM.
 - EMERGENCY CONTACT TELEPHONE NUMBER TO BE PROVIDED BY OWNER.

4
7
EMERGENCY CONTACT SIGN
SCALE: NTS



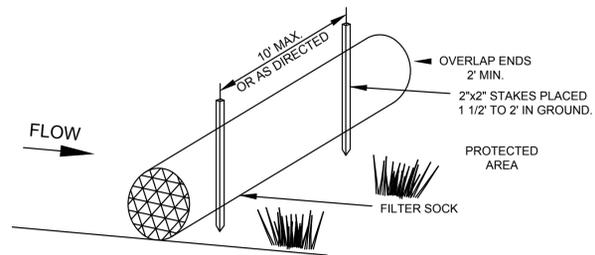
- NOTES:**
- SIGN SHALL BE 0.040 IN. RUST FREE ALUMINUM.
 - SIGN SHALL COMPLY WITH ANSI Z535.
 - DANGER SIGN TO BE SPACED EVERY 300 FEET ALONG FENCE LINE.

3
7
DANGER SIGN
SCALE: NTS



- NOTES:**
- SIGN SHALL BE 0.040 IN. RUST FREE ALUMINUM.
 - SIGN SHALL COMPLY WITH ANSI Z535.
 - NO TRESPASSING SIGN TO BE SPACED EVERY 100 FEET ALONG FENCE LINE.

5
7
NO TRESPASSING SIGN
SCALE: NTS

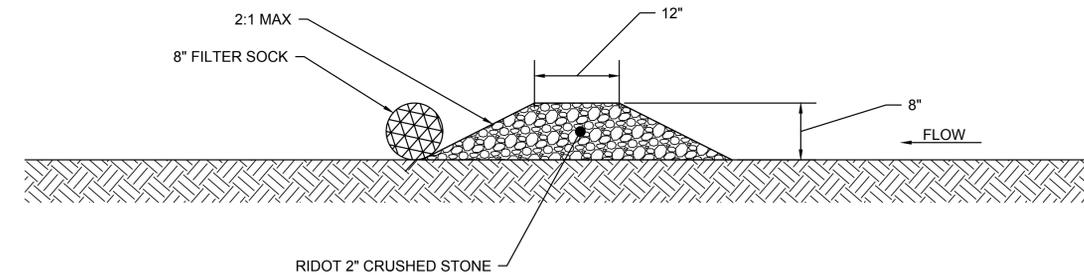


ANCHORING DETAIL

CONSTRUCTION SPECIFICATIONS

- FILTER SOCKS SHALL BE FILTREXX SILTSOXX WITH BIODEGRADABLE MESH, OR EQUIVALENT APPROVED BY THE OWNER. FILTER SOCK AND COMPOST MATERIALS SHALL BE IN ACCORDANCE WITH AASHTO MP 9-06, LATEST REVISION.
- FILTER SOCKS SHALL BE 8 INCHES IN DIAMETER.
- FILTER SOCKS SHALL BE PLACED IN ACCORDANCE WITH THIS PLAN SET AND IN A ROW WITH ENDS OVERLAPPING 2 FEET (MIN.).
- FILTER SOCKS SHALL BE SECURELY ANCHORED IN PLACE BY WOOD STAKES, 10 FEET ON CENTER (MAX).
- INSPECTION SHALL BE FREQUENT AND REPAIR AND/OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- FILTER SOCKS SHALL NOT BE MOVED TO OTHER LOCATIONS IN THE PROJECT ONCE PLACED.
- VEGETATED BIODEGRADABLE FILTER SOCKS TO REMAIN. REMOVE NON-BIODEGRADABLE FILTER SOCKS AFTER SITE HAS BEEN STABILIZED.

6
7
TYPICAL FILTER SOCK DETAIL
SCALE: NTS



7
7
TYPICAL RIP-RAP BERM DETAIL
SCALE: NTS

NOT FOR CONSTRUCTION

100 Fifth Avenue, 5th Floor
 Waltham, Massachusetts 02451
 p 781.419.7696
 www.essgroup.com

No.	REVISION	DATE	APP BY

DRAWN BY: PKN CHECKED BY: JMG
 DESIGNED BY: JMG APPROVED BY:

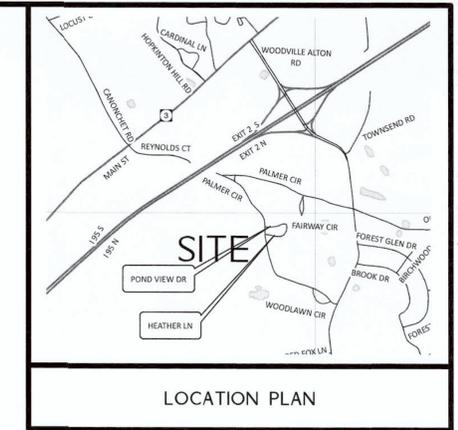
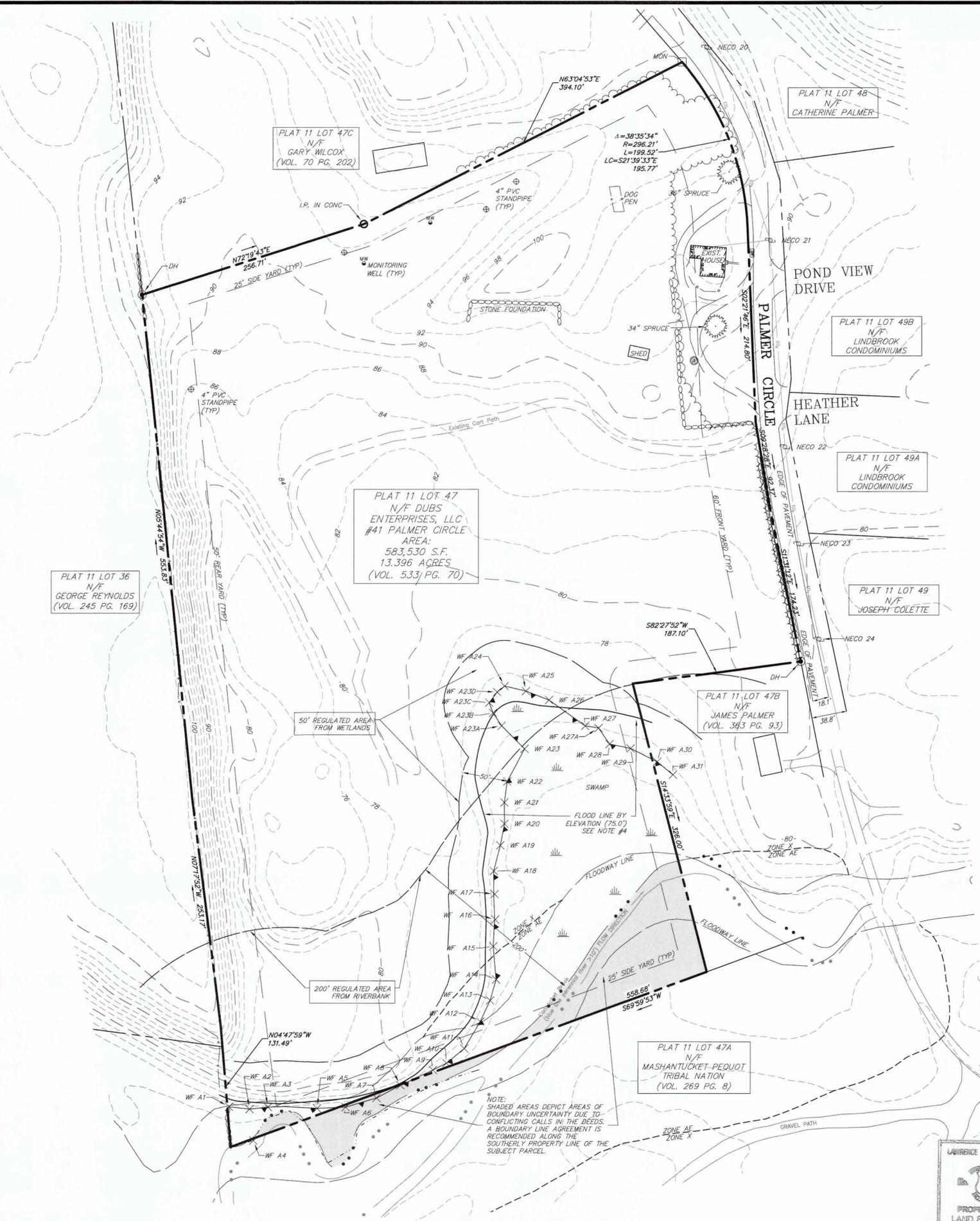
PALMER CIRCLE SOLAR TWO
AP 11 LOT 47
41 PALMER CIRCLE
HOPKINTON, RI

DEVELOPMENT PLAN REVIEW
DETAILS

PROJECT No.: 0214-000	DRAWING No.
DATE OF ISSUE: 3/19/19	D-2
SHEET No.: 7 OF 7	
SCALE: NTS	



LEGEND	
EXISTING	DESCRIPTION
	BORING / TEST PIT LOCATION
	OVERHEAD COMM. LINES (CABLE, TEL, ETC.) UNDERGROUND COMMUNICATION LINES
	BENCHMARK
	WATER MAIN WATER SERVICE WATER VALVE FIRE HYDRANT
	POLE MOUNTED LIGHT
	GAS MAIN GAS SERVICE LINE
	ELECTRICAL LINES, OVERHEAD ELECTRICAL LINES, UNDERGROUND UTILITY POLE
	PROPERTY LINE EASEMENT LINE IRON PIPE IRON ROD MONUMENT
	GUARD RAIL SIGN
	EDGE OF WATER BARBED WIRE FENCE CHAIN LINK FENCE RAIL FENCE STOCKADE FENCE WIRE FENCE STONE WALL TREE TREE LINE
	SANITARY SEWER MAIN SANITARY SEWER SERVICE LINE SANITARY SEWER MANHOLE
	STORM DRAIN PIPE STORM DRAIN MANHOLE CURB INLET CATCH BASIN
	CONTOUR SPOT ELEVATION
	WETLANDS LINE



NOTES:

- PROPERTY IS IN THE COMMERCIAL SPECIAL ZONE.
- PARCEL CONTAINS 583,530 SQUARE FEET OR 13.396 ACRES.
- HORIZONTAL DATUM IS BASED ON RI NAD83. VERTICAL DATUM IS BASED ON NAVD83.
- TOPOGRAPHIC INFORMATION DEPICTED HEREON IS BASED ON STATE OF RHODE ISLAND LIDAR MAPPING AND FIELD VERIFIED BY CONVENTIONAL FIELD SURVEY SPOT ELEVATIONS.
- A PORTION OF THE PROPERTY FALLS WITHIN THE LIMITS OF A FLOOD HAZARD ZONE AS DEPICTED ON: "FIRM FLOOD INSURANCE RATE MAP NUMBER 44090015H, TOWN OF HOPKINTON, RHODE ISLAND, WASHINGTON COUNTY, PANEL 151 OF 368 COMMUNITY NUMBER 015H; EFFECTIVE DATE: OCTOBER 19, 2010. PREPARED BY FEDERAL EMERGENCY MANAGEMENT AGENCY FEDERAL INSURANCE ADMINISTRATION.
- UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO DESIGN PROFESSIONALS, INC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" FOR UNDERGROUND UTILITY MARKING AT LEAST TWO FULL WORKING DAYS PRIOR TO START OF CONSTRUCTION: 1-800-922-4455 OR WWW.CBIDG.COM.

NOTES:

NATURAL HERITAGE AREA: PROPERTY IS NOT LOCATED IN NATURAL HERITAGE AREAS. (RIDEM)

PRIME FARMLAND SOILS: PROPERTY DOES NOT CONTAIN PRIME FARMLAND SOILS. (HOPKINTON RI)

GROUNDWATER PROTECTION OVERLAY DISTRICT: A PORTION OF THE PROPERTY IS LOCATED IN THE PRIMARY PROTECTION ZONE AND THE MAJORITY OF THE PROPERTY IS LOCATED WITHIN THE SECONDARY PROTECTION ZONE. (HOPKINTON RI)

STATE, REGIONAL OR COMMUNITY GREENWAYS AND GREENSPACE PRIORITIES: PROPERTY IS NOT PROTECTED FOR OPEN SPACE/ CONSERVATION LAND. (HOPKINTON RI)

100-YEAR FLOODPLAINS AS SHOWN ON FEDERAL FLOOD PROTECTION MAPS: PROPERTY FALLS WITHIN LIMITS OF FLOOD HAZARD ZONE PER FEMA MAPPING. (FEMA)

UNFRAGMENTED FOREST TRACTS: PARCEL IS UNFRAGMENTED FOREST TRACT AS THE ENTIRE SITE IS WOODED.

LAND IN ACTIVE AGRICULTURAL USE: LAND IS NOT IN ACTIVE AGRICULTURAL USE.

MAP REFERENCES:

- RICHMOND - HOPKINTON INTERSTATE HIGHWAY SOUTHERN NOOSENECK SECTION AT CANONCHET ROAD SCALE 40 FEET PER INCH SHEET NO. 6 PLAT NO. 931 FILE NO. 3346 FEB. 10, 1985 PREPARED BY RHODE ISLAND DEPARTMENT OF PUBLIC WORKS DIVISION OF ROADS AND BRIDGES
- BOUNDARY MAP BRAE BERN PARTNERSHIP PALMER CIRCLE RD, HOPKINTON, R.I. SCALE 1"=50' SHEET 3 OF 3 DATE: AUGUST 1989 PREPARED BY HAYWARD HOLDROCK
- BOUNDARY SURVEY PREPARED FOR JAMES ROMANELLA & SONS, INC. PALMER CIRCLE ROAD PLAT 11 LOT 47A HOPKINTON, RHODE ISLAND SCALE: 1"=200' DATED: 6-11-97 BY: CHERENZIA & ASSOCIATES, LTD

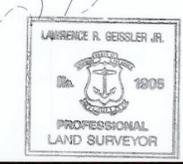
CERTIFICATION:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

- COMPREHENSIVE BOUNDARY SURVEY: CLASS 1
- CLASS 1-4 & CLASS 1-2 FOR SPOT ELEVATION CHECKS

• THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: THE PURPOSE OF THE SURVEY IS TO DEPICT THE EXISTING PROPERTY LINES RELATIVE TO EXISTING IMPROVEMENTS ON AND IMMEDIATELY ADJACENT TO THE PROPERTY.

• T-4 SURVEY PLAN NOTE: "THIS COMPILATION PLAN HAS BEEN PREPARED FROM SOURCES OF INFORMATION AND DATA WHOSE POSITIONAL ACCURACY AND RELIABILITY HAS BEEN VERIFIED BY CONVENTIONAL FIELD SURVEY SPOT ELEVATION CHECKS."



TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Lawrence R. Geissler, Jr.
LAWRENCE R. GEISSELER, JR., L.S.

1905
LIC. NO.

21 EPHRAIM DRIVE
SOUTH WINDSOR, CT 06074
860-291-8755 - T
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CIVIL & TRAFFIC ENGINEERS / PLANNERS / SURVEYORS
GIS ANALYSTS / LANDSCAPE ARCHITECTS

PREPARED FOR:

John Typadis
Oak Square Partners
119 Brantree St., Suite 211
Boston, MA 02134

DATE: 7/11/2019

BY: RMB, LJC

SCALE: 1" = 40'

41 PALMER CIRCLE

PLAT 11 LOT 47D

41 PALMER CIRCLE
HOPKINTON, RHODE ISLAND

REVISIONS

NO.	DATE	BY	REVISIONS
1	1/23/2019	RMB	CLIENT COMMENTS
2	3/7/19	LJC	UPDATE TOPOGRAPHIC CERTIFICATION

PROPERTY & TOPOGRAPHIC SURVEY

SHEET

V-1



PLANTING LIST

Symbol:	Qty:	Botanical/Common Name:	Size:	Note:
Trees:				
CJY	32	Cryptomeria Japonica Yoshino/Japanese Cedar	6'-7'	B&B
JV	27	Juniperus virginiana/Eastern Red Cedar	6'-7'	B&B
PC	20	Picea glauca/White Spruce	6'-7'	B&B
Shrubs:				
16C	17	Ilex glabra 'Compacta'/Compact Inkberry	#7	Cont.
MP	12	Myrica pensylvanica/Northern Bayberry	#7	Cont.

- NEW ENGLAND WETLAND PLANTS MIX; CONSERVATION STONWILD FLOWER MIX (OR EQUAL)
- AMERICAN MEADOWS; SOLAR FARM COLOR SEED MIX (OR EQUAL)

SITE PREPARATION:

- THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES FOUND IN THE FIELD OR OF CONDITIONS UNCOVERED IN THE WORK WHICH ARE NOT REFLECTED IN THE PLANS.
- THE CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION, IN ACCORDANCE WITH DIS SAFE LAW (1-800-844-1239). THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY/ALL UTILITY DAMAGE. RECORD ALL LOCATIONS OF DIS-SAFE MARKINGS ON PROJECT RECORD DOCUMENTS.
- THE CONTRACTOR SHALL CHECK ALL SOIL CONTROL MEASURES IN PLACE PRIOR TO COMMENCING WORK. IN THE EVENT THEY NEED TO BE MAINTAINED, THE CONTRACTOR SHALL IMMEDIATELY REPAIR AND SET SOIL EROSION CONTROL MEASURES BACK IN PLACE PRIOR TO RE-COMMENCING WORK.
- SEE ENGINEER'S PLANS FOR PLACEMENT OF STOCKPILING TOPSOIL.
- THE CONTRACTOR SHALL TAKE EXTRA CARE WITH THE EXISTING TREES TO REMAIN THAT RUN ALONG THE LINE OF THE PROPOSED 25' LANDSCAPE BUFFER. CONTRACTOR TO SET SNOW FENCE ALONG INWARD LINE OF 25' BUFFER TO PROTECT EXISTING VEGETATIVE BUFFER SO AS NOT TO ACCESS WITH HEAVY MACHINERY.
- CONTRACTOR TO STOCKPILE ALL STONE FROM EXISTING STONE WALL AT OWNER'S LOCATION ON SITE FOR USE OF THE NEW STONE WALL ALONG PALMER CIRCLE.
- THE LANDSCAPE CONTRACTOR SHALL REPLACE ANY HARDSCAPE ELEMENTS DAMAGED AS A RESULT OF LANDSCAPE OPERATIONS.
- THE CONTRACTOR SHALL TAKE CARE TO CONTROL SEDIMENT FROM EXITING THE PROPERTY, WHERE SEDIMENT HAS BEEN TRACKED OUT FROM THE SITE ONTO THE STREET, THE SEDIMENT MUST BE REMOVED BY THE END OF THE SAME WORKDAY IN WHICH THE TRACK OCCURS. TRACK-OUT MUST BE REMOVED BY SWEEPING, SHOVELING OR BY OTHER SIMILARLY EFFECTIVE MEANS OF SEDIMENT REMOVAL.
- THE CONTRACTOR SHALL REMOVE ALL LARGE STONES (3\"/>

PLANTING SPECIFICATIONS:

- ALL PLANTS TO BE BALLED-IN-BURLAP OR CONTAINER-GROWN AS SPECIFIED IN PLANT SCHEDULE. NO SUBSTITUTIONS SHALL BE ACCEPTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE SITE CLEAN OF MISCELLANEOUS DEBRIS THROUGHOUT THE CONSTRUCTION PERIOD. ALL WASTE MATERIAL IS TO BE DISPOSED OF TO AN OFF-SITE LOCATION.
- NATIVE EXISTING SOIL SHALL BE CLEAN, UNIFORM QUALITY, FREE FROM HARD CLODS, ROOTS, SOD, STIFF CLAY, STONES LARGER THAN ONE (1) INCH LONG, CEMENT, SLAG, CONCRETE, TAR RESIDUE, BOARDS, STICKS OR ANY UNDESIRABLE MATERIAL. THE ACIDITY RANGE SHALL BE PH 6.0- PH 7.0 INCLUSIVE.
- ALL PLANT MATERIAL SHALL BE TOP-QUALITY GRADE, FREE OF DEFECTS, INJURIES AND MEET ACCEPTED HORTICULTURAL STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. STANDARDS FOR NURSERY STOCK, LATEST EDITION, AND ITS AMENDMENTS. PLANTING SHALL OCCUR IN EITHER SPRING (APRIL 1ST - MAY 15TH) OR FALL (SEP 1ST - NOV 15TH).
- THE OWNER SHALL MAINTAIN ALL PLANTS ON SITE BY WATERING AS NEEDED. THE CONTRACTOR SHALL PROVIDE A ONE YEAR GUARANTEE ON ALL PLANT MATERIAL AFTER GIVEN FINAL APPROVAL BY THE CLIENT.
- MULCH SHALL BE SHREDDED PINE BARK MULCH, AGED A MINIMUM OF 6 MONTHS. MULCH SHALL BE PLACED AT A DEPTH OF 2\"/>

NOTE:

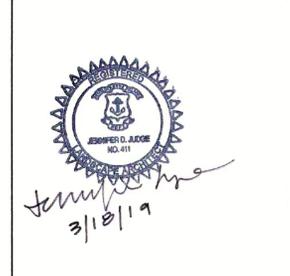
- BASE PLAN AND SURVEY PROVIDED BY ess group, 100 Fifth Avenue, 5th Floor, Haltham MA 02451. Phone: 781.414.7676. Digital file labeled: 0214-000 PALMER CIRCLE THO LAYOUT WIP 2014-02-01-R2015, received 2/1/14.
- NO EXTERIOR LIGHTING IS PROPOSED.

GENERAL NOTES:

REVISIONS:	DESCRIPTION
NO. DATE	

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GH DG GRAVELLY HILL DESIGN GROUP, LLC.
LANDSCAPE ARCHITECTURE

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EMAIL: jenn@gravellyhilldg.com

PALMER CIRCLE SOLAR TWO
997kW
41 PALMER CIRCLE, HOPKINTON RI

FOR
DEVELOPMENT PLAN REVIEW

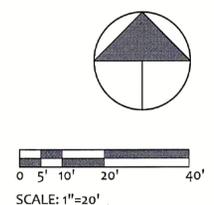
PREPARED FOR:
OAK SQUARE DEVELOPMENT, LLC
119 BRAINTREE STREET
SUITE 211
BOSTON MA 02134

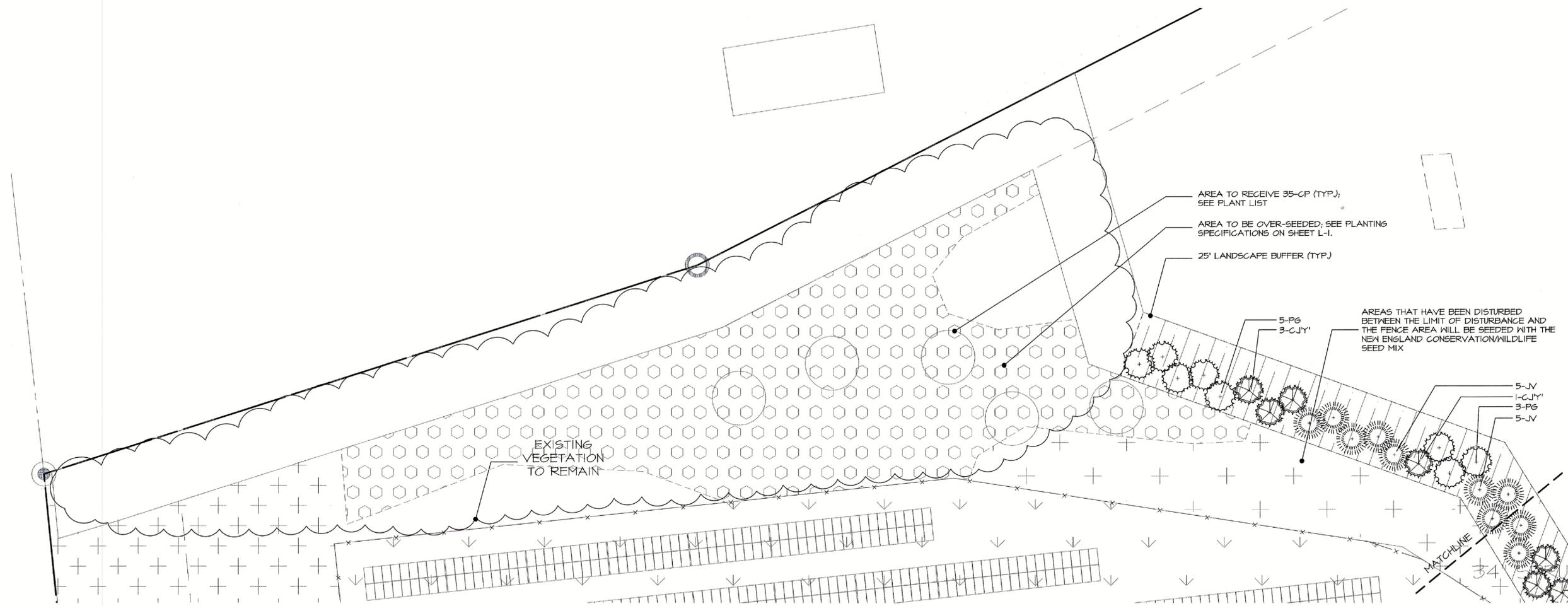
LANDSCAPE PLAN

scale: 1"=20'
date: 3/14/19
drwn: JJ
appr: JJ
file: 201815

SHEET 1 OF 3
L-1

SOUTH/WEST PLANTING PLAN
SCALE: 1"=20'



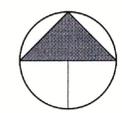
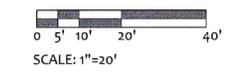


NORTHERN PROPERTY LINE PLANTING

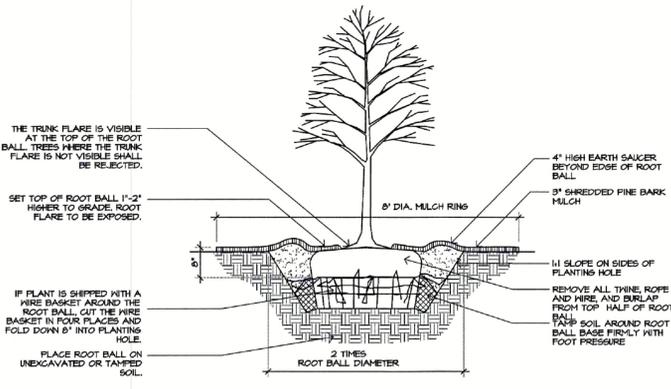
SCALE: 1"=20'

PLANTING LIST

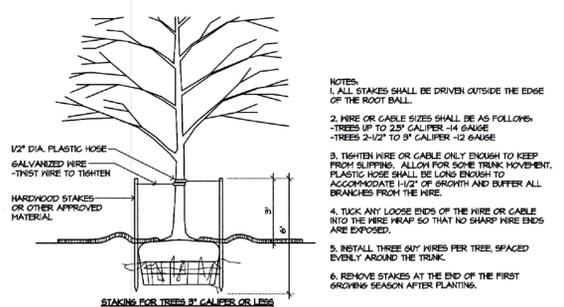
Symbol:	Qty:	Botanical/Common Name:	Size:	Note:	Spacing:
Trees:					
CJY	4	Cryptomeria japonica Yoshino/Japanese Cedar	6'-7"	B4B	
JV	10	Juniperus virginiana/Eastern Red Cedar	6'-7"	B4B	
PG	8	Picea glauca/White Spruce	6'-7"	B4B	
Shrubs:					
CP	175	Comptonia peregrina/Sweetfern	4" POT.	Cont.	36" O.C.



NEW ENGLAND WETLAND PLANTS INC.
NEW ENGLAND CONSERVATION/WILDLIFE MIX (OR EQUAL)

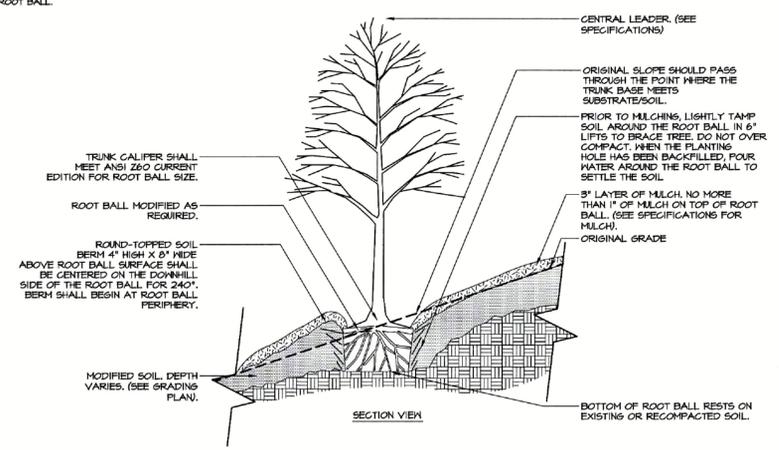


1 TREE PLANTING DETAIL NTS

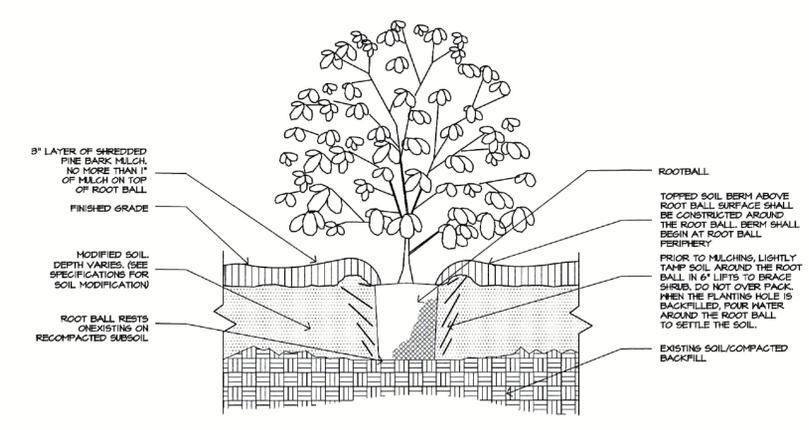


2 TREE STAKING DETAIL NTS

NOTE:
1. DO NOT HEAVILY PRUNE THE TREE AT PLANTING.
2. PRUNE ONLY CROSSOVER LINES, CO-DOMINANT LEADERS AND BROKEN OR DEAD BRANCHES.
3. DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
4. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK.
5. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL AND DO NOT FLAG MORE THAN 1" OF MULCH ON TOP OF THE ROOT BALL.



3 SLOPED TREE PLANTING 5% (20:1) TO 50% (2:1) DETAIL NTS



4 SHRUB PLANTING DETAIL NTS

GENERAL NOTES:

REVISIONS:

NO.	DATE	DESCRIPTION

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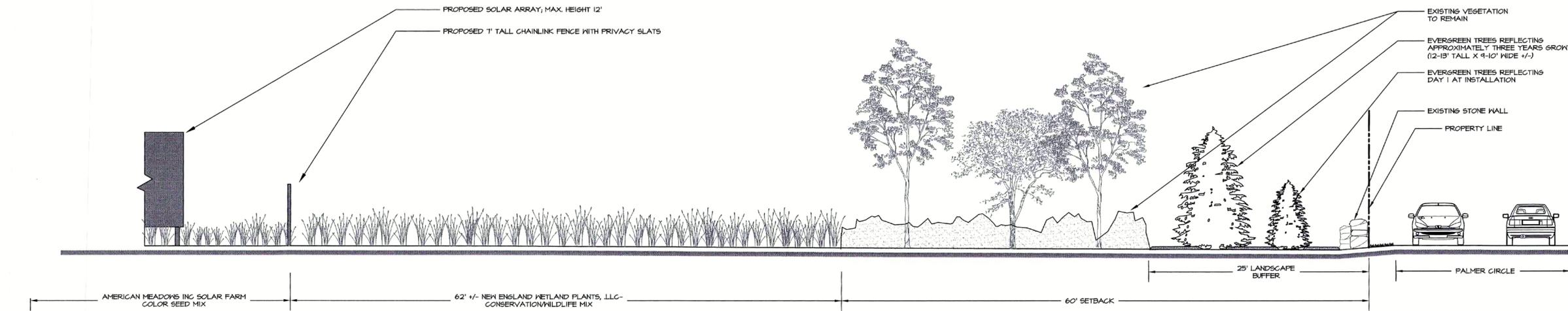
GH DG GRAVELLY HILL DESIGN GROUP, LLC.
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T: 401.465.8282 EMAIL: jenn@gravellyhilldg.com

PALMER CIRCLE SOLAR TWO 997kW
41 PALMER CIRCLE, HOPKINTON RI
FOR DEVELOPMENT PLAN REVIEW
PREPARED FOR: OAK SQUARE DEVELOPMENT, LLC
119 BRAINTREE STREET SUITE 211 BOSTON MA 02134

LANDSCAPE PLAN & LANDSCAPE SPECIFICATIONS

scale: AS SHOWN
date: 3/14/19
drwn: JJ
appr: JJ
filen: 201815

SHEET 2 OF 3
L-2



CROSS-SECTION AT A-A1: PALMER CIRCLE

SCALE: NTS

GENERAL NOTES:

REVISIONS:
NO. DATE DESCRIPTION

NO.	DATE	DESCRIPTION

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PALMER CIRCLE SOLAR TWO
997kW
41 PALMER CIRCLE, HOPKINTON RI
FOR
DEVELOPMENT
PLAN
REVIEW

PREPARED FOR:
OAK SQUARE
DEVELOPMENT, LLC
119 BRAINTREE STREET
SUITE 211
BOSTON MA 02134

CROSS SECTION

scale: AS SHOWN
date: 3/14/19
drwn: JJ
appr: JJ
file: 201815

SHEET 3 OF 3

L-3